

**TOWN OF BOSCAWEN**  
116 North Main Street  
Boscawen, New Hampshire 03303  
OFFICE: 603-753-9188

**Application for Building Permit**

Date of application: \_\_\_\_\_

**Building Permit Application Process:**

This application for a building permit must be filled out by the owner or authorized representative and filed with the Building Inspector with the required fees. If extra inspections are required, other than the original fees paid, you shall be responsible to pay all fees as determined by the Building Inspector, prior to CO or CC.

**A Building Permit will be valid for 12 months, with the ability to apply for a Renewal Permit for a fee of \$100, that will be valid for 6 months, as stated in the 2018 IBC & IRC, Section 105.3.2. If work is not completed within that time frame, the project will be closed and a new permit will need to be applied for.**

A Land Use Diagram and Structural Plans must be submitted with this permit application. The land use diagram must show the proposed structure, distances to existing buildings and structures and setbacks distances to the property lines. The plans for the structure must show side and end elevations as well as floor plans for each level with sufficient detail to show conformance with the New Hampshire Building Code RSA 155-A. The plans may be hand-drawn if the project is not complex.

**Boscawen Building Codes:**

The following code systems make up the Boscawen Building Code. Currently, there are no amendments to the New Hampshire Building Code that are specific to Boscawen.

- 2018 International Building Code (IBC-18)
- 2018 International Energy Conservation Code (IECC-18)
- 2018 International Existing Building Code (IEBC-18)
- 2018 International Mechanical Code (IMC-18)
- 2018 International Plumbing Code (IPC-18)
- 2018 International Residential Code (IRC-18)
- 2018 International Swimming Pool & Spa Code (ISPSC-18)
- 2018 NFPA 1 – Fire Code
- 2018 NFPA 54 National Fuel Gas Code
- 2020 NFPA 70 National Electrical Code (NEC-20)
- 2018 NFPA 101 Life Safety Code

Septic System Design – NH DES Subsurface Division  
State Highway Driveway Permit – NH DOT  
Town Road Driveway Permit – Boscawen Public Works  
Water Connection–Penacook/Boscawen Water Precinct  
*The current building codes and RSA's are available in the town office for review.*

**\*Effective September 1<sup>st</sup>, 2022**

**Enabling Legislation:**

**RSA 674:51**, states in pertinent part, "The state building code established in RSA 155-A shall be effective in all towns and cities in the state."

**RSA 155-A:2** states: Except as provided in paragraphs II and III, All buildings, building components, and structures constructed in New Hampshire shall comply with the state building code and state fire code. The construction, design, structure, maintenance, and use of all buildings or structures to be erected and the alteration, renovation, rehabilitation, repair, removal, or demolition of all buildings and structures previously erected shall be governed by the provisions of the state building code.

**Paragraph II.** To the extent that there is any conflict between the state building code and the state fire code, the code creating the greater degree of life safety shall take precedence, subject to the review provisions contained in RSA 155-A:10.

**Paragraph III.** To the extent that it does not conflict with any other provision of law, and except as otherwise provided in this paragraph, the issuance of permits and the collection of fees pursuant to the state building code is expressly reserved for counties, towns, cities, and village districts where such activities have been authorized in accordance with RSA 674:51 and RSA 47:22..." In addition,

**Paragraph VII** states: The contractor of a building, building component, or structure shall be responsible for meeting the minimum requirements of the state building code and state fire code. No municipality shall be held liable for any failure on the part of a contractor to comply with the provisions of the state building code.

**Property and Contact Information:**

Street Address (location of proposed construction):

Zoning District:

A/R  R-1  R-2  COM  IND  MRD  VD

Tax Map #: \_\_\_\_\_ Lot #: \_\_\_\_\_ Sub Lot #: \_\_\_\_\_

Property Owner(s) Name(s) (must match deed):

Mailing Address:

City:

State:

Zip:

Daytime Telephone:

Email: (optional)

Contractor/Builder Name:

Company Name:

Mailing Address:

City:

State:

Zip:

Daytime Telephone:

Email: (optional)

**Description of Construction Work:**

Please check the box or boxes that best describe the work to be done:

Single Family  Two Family

Multi-Family  Commercial

Addition

General Renovation

Deck  Garage  Shed/Bard

Above Ground Pool  In-Ground Pool

Commercial Construction or Renovation

Demolition

Other: \_\_\_\_\_

**Please describe the work to be performed:**

Please include general dimensions, use of the new structure, etc.

**Estimated start date:** \_\_\_\_\_

**Estimated finish date:** \_\_\_\_\_

How many cubic yards of material will you be taking out?

Did the Code Enforcement Officer issue a letter of Determination?  Yes  No

*If yes, please attach a copy of the Letter of Determination.*

Was any approval given by the Planning Board for this building project?  Yes  No

*If yes, please attach a copy of the board's Notice of Decision.*

Was any approval given by the Zoning Board of Adjustment for this building project?  Yes  No

*If yes, please attach a copy of the board's Notice of Decision.*

**Building/Structure Plans:**

One Set of Plans are Attached

Plans typically are to the scale of 1/4"=1'0". Plans show important information such as dimensions and locations, type of materials used, framing style, insulation, windows, exits and egresses, stairwell elevations, location of electrical service components, and the location of life safety, heating and plumbing systems. A complete set of building plans should include the following three components:

1. **SITE SKETCH** (this is required for all new buildings OR if there is any change to the exterior footprint of an existing building):
  - a) Location of all buildings on lot;
  - b) Dimensions/measurements of proposed structures;
  - c) Measured distance between property lines and structures(both existing and proposed);
  - d) Name of streets/roads abutting property;
  - e) Location of wetlands;
  - f) If septic is to be used, show layout and location; and
  - g) Well or water supply location.

2. **FLOOR PLAN:** One for each level of the proposed construction.

3. **ELEVATION PLAN:** A two-dimensional view of the building as seen from the exterior.

*Note: The plans may be hand-drawn if the project is not a complex one. The plans must always allow the plan reviewer sufficient detail to confirm conformance with the New Hampshire Building Code RSA 155-A.*

**Subdivision of the Property (if applicable):**

**Subdivision Name:**

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**Subdivision Date:**

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*There may be existing stipulations and/or conditions placed on your subdivision or development. Subdivisions approved after February 8<sup>th</sup>, 2005 are subject to the provisions of Section III, General Requirements, B 16 of the Boscawen Subdivision Regulations, regarding sprinkler systems.*

**Exterior Lighting:**

All exterior lighting on any new construction or and existing structure substantially renovated shall conform to Article XXIV, Outdoor Lighting Ordinance. This section is effective March 9<sup>th</sup>, 2010.

**Setback Requirement:**

**Will the proposed Structure meet the setback requirements?**  Yes  No

*Note: The following distances are Boscawen's zoning setback requirements by district for any building construction; (Article V – Lot Dimensions and Area in the Boscawen Zoning Ordinance.) If you do not know what zoning district your proposed building project is in, please check with our Land Use Office at the Town Office.*

Building Setbacks (in feet)

Agricultural – Residential Zone	
<i>Front Setback</i>	50
<i>Side Setback</i>	25
<i>Rear Setback</i>	50
Residential – Low Density R-1 Zone	
<i>Front Setback</i>	40
<i>Side Setback</i>	20
<i>Rear Setback</i>	40
Residential – Medium Density R-2 Zone	
<i>Front Setback</i>	30
<i>Side Setback</i>	10
<i>Rear Setback</i>	10
Village District – Mixed Use	
<i>Front Setback</i>	5
<i>Side Setback</i>	10
<i>Rear Setback</i>	10
Commercial Zone	
<i>Front Setback</i>	50
<i>Side Setback</i>	10
<i>Rear Setback</i>	20
Industrial Zone	
<i>Front Setback</i>	50
<i>Side Setback</i>	10
<i>Rear Setback</i>	20

**Dig Safe:**

I have read the Dig Safe pamphlet and will contact Dig Safe before excavating. \_\_\_\_\_ **Initial**

**Energy Code Sheet:**

*Reviewed and approved by Building Inspector during Site Plan Review.*

**Driveways & Class VI Roads:**

**Will a new driveway be constructed, or will an existing driveway be altered?**  Yes  No

*If yes, a Boscawen Driveway Permit will be required. Applications are available in the Town Office.*

*Please note: If you are constructing or altering a driveway that connects to a state road, a permit from the State of NH Department of Transportation may be required.*

**Is the property located on a Class VI town road?**  Yes  No

*Note: Development of property on a Class VI road is limited. Please contact our Land Use Office at the Town Office to understand those restrictions*

**Electrical:**

**Will any electric work be performed?**  Yes  No  
*If yes, complete the appropriate section below:*

**TEMPORARY POWER?**  Yes  No

**NEW ELEC SERVICE INSPECTION?**  Yes  No

*Complete this section if you, as the homeowner, will be doing the electrical work: (owner-occupied, single-family home only; this option does not apply to commercial or rental property.)*

I, \_\_\_\_\_, certify that I will be performing electrical work as the owner-occupant of my single-family home, and that all electrical work shall be performed in accordance with the standards of the state electrical code, NEC 2020.

**Signature:**

Complete this section if you are hiring a licensed master electrician to do the work:

Electrician's Name: \_\_\_\_\_

N. H. Master Electrician's License Number: \_\_\_\_\_

Company: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Telephone (daytime): \_\_\_\_\_

**Plumbing & Mechanical:**

**Will any plumbing work be performed?**  Yes  No  
*If yes, complete the appropriate section below:*

*Complete this section if you, as the homeowner, will be doing the plumbing work: (owner-occupied, single-family home only; this option does not apply to commercial or rental property.)*

I, \_\_\_\_\_, certify that I will be performing the plumbing work as the owner-occupant of my single-family home. All plumbing work shall be performed in accordance with the standards and regulations of the state plumbing code.

**Signature:**

Complete this section if you are hiring a licensed master plumber to do the work:

Plumber's Name: \_\_\_\_\_

N. H. Master Plumber's License Number: \_\_\_\_\_

Company: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Telephone (daytime): \_\_\_\_\_

**Will you be installing an LP, (Propane) or LNG, (Natural Gas), gas burning appliance?**  Yes  No

*If yes, the appliance must be installed by a licensed N.H. Gas Fitter and must meet or exceed the requirements of NFPA 54 National Fuel Gas Code.*

*Inspection by the Building Inspector*

Name of Installer: \_\_\_\_\_

License #: \_\_\_\_\_ Exp Date: \_\_\_\_\_

Appliance to be installed: \_\_\_\_\_

Model number: \_\_\_\_\_

**Utilities:**

**Will you be installing private septic system?**  Yes  No

*If yes, we require an "Approval for Construction" and an "Approval for Operation" from the NH Department of Environmental Services, Subsurface Systems Bureau. Their telephone number is 603-271-3501.*

*(Please check with the Building Inspector, as the state may have already submitted copies of approvals to the town).*

**Will you be connecting to the Penacook-Boscawen Water Precinct for domestic water?**  Yes  No

*If yes, please supply a signed copy of their Approval to Connect form from the Precinct. The telephone number to contact the precinct's service provider, Pennichuck, is 1-800-553-5191.*

*Penacook Boscawen Water Precinct  
Phone: 603-796-2206  
Email: [boscawenwater@gmail.com](mailto:boscawenwater@gmail.com)*

**Will you be connecting to the Boscawen Wastewater System?**  Yes  No

*If yes, please supply a copy of Approval to Connect form from the Public Works Department. Their telephone number is 603-796-2207.*

**Will you be installing or replacing any other type of utility system not described above?**  Yes  No

*If yes, please describe:*

**Current Use:**

**Is any portion of the property to be developed under "Current Use" assessment?**  Yes  No

*If yes, a new Current Use Map must accompany this application. Please note that fines may apply when Current Use status changes. Please see our Administrative Assistant for more information on the Current Use program.*

**Demolition:**

**Will any buildings or structures be demolished?**  Yes  No

*If yes, please describe in detail the location, size and type of structures being demolished and how the debris will be disposed of:*

**Asbestos survey results now required for all demolitions: Please attach to application**

**I have read the DES requirements.** \_\_\_\_\_ **Initials**

*Individuals or entities approved for demolition work shall ensure that at the end of each workday, the areas under demolition shall be secured so as not to constitute a hazard. Open cellar holes or foundations are to be fenced in such a fashion so as to adequately warn of danger. All rubble shall be removed from the property and disposed of properly.*

*Further, State and Federal law requires an inspection by a qualified asbestos inspector prior to conducting demolition and renovation activities. Where the inspection determines that asbestos will be disturbed by the activity, the asbestos must be removed, packaged and disposed of in accordance with applicable asbestos regulations. Furthermore, all demolitions require a written notification to the New Hampshire Asbestos Management and Control Program no less than 10 working days prior to the commencement of demolition activities. For more information on asbestos concerns, please contact the New Hampshire Asbestos Management and Control Program, Air Resources Division of the NH Dept. of Environmental Services, P.O. Box 95, Concord, NH 03302-0095, or by telephone at (603) 271-1370 or their website at <http://des.nh.gov/organization/divisions/air/cb/ceps/ams/index.htm>.*

**Intent to Cut (Trees):**

**Will the proposed building project include any logging for resale?**  Yes  No

*Note: If yes, an "Intent to Cut" form may be required in accordance with RSA 79:10. Contact our Land Use Office in the Town Office for more information.*

**Wetlands – Shorelands – Flood Plain:**

**Will any construction activity be taking place within 250 feet of a pond, lake or river?**       Yes  No

*Note: before planning or undertaking any construction, excavation or filling within a protected Shoreland, please contact: NH Department of Environmental Services Wetlands Bureau at 603 271-2147.*

**Is the proposed building lot located in any special flood hazard areas?**       Yes  No

*Note: Building permit applications will be reviewed in accordance with Article XV – Floodplain Development Ordinance in the Boscawen Zoning Ordinance. Please check the Flood Insurance Program Map located in the Town Office to see if your property is in a flood zone.*

**Will the proposed construction activities impact a wetlands area?**       Yes  No

*Note: A Wetlands Permit from NH Department of Environmental Services and a review by the Boscawen Conservation Commission may be required.*

**Work Exempt from Permit:**

The Board of Selectmen at their August 31, 2011 board meeting, voted to adopt the *Work Exempt from Permit* provisions of the IBC, IRC, IMC, IPC and the National Electrical Code, NFPA 70. Once this process was adopted, we created a document that defines that work which is exempt from the building permit process.

We will review your building permit application; if it applies, we will provide you with a copy of our *Work Exempt from Permit* form and this release from the building permit process. Please note, building setback and fire separation requirements continue to apply.

**Building Permit Fee Structure:**

Total from Schedule of Fees Worksheet \$ \_\_\_\_\_

Check # \_\_\_\_\_

Admin Fee: \_\_\_\_\_ Building Permit: \_\_\_\_\_

**Signatures:**

1. This is to certify that all plans and specifications of this application will be followed during construction and any change shall only be made after notifying the Building Inspector and receiving approval of change.
2. In addition, this certifies that I am aware of the requirement to build in accordance with the New Hampshire Building Code and the New Hampshire Fire Codes. I have read, understand and will comply with all sections of this application which have been checked.
3. By signing this application, you authorize the Town of Boscawen Building Inspector and or his/her agent(s) to enter upon the property, as they deem reasonable and necessary to perform inspections of the construction or demolition.
4. A Certificate of Occupancy or Completion may only be issued for construction, which has taken place under a valid building permit and inspection schedule.
5. Letter of Authorization by Owner required if tenant or contractor is applying for permit and unable to sign. An email authorization or copy of contract by be substituted.
6. Renewal process: Applicant may file for an extension of their building permit if the project is not completed within one year. A 180 day extension may be granted by the Building Inspector after a Renewal Application is submitted and a \$100 fee is paid. The applicant will need to apply for a new building permit once the extension has expired.
7. Impact fees may apply; please refer to the Town of Boscawen Zoning Ordinance Article XX.

**Signature of Property Owner(s)**

\_\_\_\_\_  
\_\_\_\_\_

**Signature of Applicant(s)**

\_\_\_\_\_  
\_\_\_\_\_

*Revision date: 10/24/23*

**New Hampshire Residential Energy Code Application**  
**for Certification of Compliance for New Construction, Additions and/or Renovations of**  
**Detached One- and Two-family dwellings and multi-family dwellings (townhouses) not over 3 stories**  
**EC-1 Form**

Minimum Provisions from 2018 IRC Chapter 11

Effective Date: July 1, 2022

<b>Owner/Owner Builder:</b> Company Name: (if applicable)			<b>General Contractor:</b> Company Name:		
Name:			Name:		
Mail Address:			Mail Address:		
Town/City:	State:	Zip:	Town/City:	State:	Zip:
Phone:	Cell:		Phone:	Cell:	
E-Mail:			E-Mail:		
<b>Location of Proposed Structure:</b>			<b>Type of Construction:</b>		
Tax Map #:		Lot #:	<input type="radio"/> Residential <input type="radio"/> Small Commercial		
Street:			<input type="radio"/> New Building <input type="radio"/> Renovation <input type="radio"/> Addition		
Town/City:		County:	<input type="radio"/> Thermally Isolated Sunroom		
			<input type="radio"/> Modular Home: the site contractor must submit this form detailing supplementary rooms and Floor and/or Basement insulation unless the floor insulation is installed or provided by the manufacturer and no heated space is added.		
<b>Zone 5</b> <input type="radio"/> Cheshire, Hillsborough, Rockingham Strafford			<b>Total New Conditioned* Floor Area:</b>		
<b>Zone 6</b> <input type="radio"/> All other NH counties and town of Durham			_____ ft <sup>2</sup>		
			<b>Basement or Crawl Space type:</b> (*a conditioned space is one being heated/cooled, containing uninsulated ducts or w/ a fixed opening into conditioned space. Walls must be insulated)		
			<b>Conditioned?</b> <input type="radio"/> Yes (Walls must be insulated) <input type="radio"/> No		
			<input type="checkbox"/> Full Basement <input type="checkbox"/> Walk Out Basement		
			<input type="checkbox"/> Slab on Grade <input type="checkbox"/> Other _____		
<b>Structure is EXEMPT because:</b>			<b>Form Submitted by:</b>		
<input type="checkbox"/> Mobile Home <input type="checkbox"/> On an historic register			<input type="checkbox"/> Owner <input type="checkbox"/> Builder <input type="checkbox"/> Other _____		

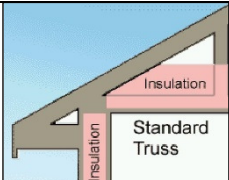
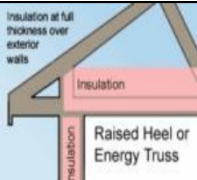
I hereby certify that all the information contained in this application is true and correct, and construction shall comply in all respects with the terms and specifications of the approval given by the local municipal code official or New Hampshire Department of Energy.

Signature \_\_\_\_\_ Print Name \_\_\_\_\_ Date \_\_\_\_\_

<b>Official Use Only</b>		
Date Complete Application Received:	Approved by:	Date:
Approval Number:	Stamp:	

Directions: Complete the "Your Proposed Structure" columns. No measurements or calculations are needed. Copies of plans are NOT needed. If you at least meet the Energy Code requirements, your project will be approved. Write N/A in any section that does not apply to your project. If your planned structure does meet these requirements, consider downloading REScheck <http://www.energycodes.gov/rescheck> to explore energy modelling options. **Please submit pages 1,2 and 3 only.**

**YOUR PROPOSED STRUCTURE**

Building Section	Required R or U Values	Write Planned R and U Values		Brands / Models / insulation type and thickness (if known)
		Write Planned R and U Values	Brands / Models / insulation type and thickness (if known)	
<b>Window U Factor</b> (lower U is better)	<b>U .30</b> (maximum) U-.32 (if log walls in Zone 5) U-.30 (if log walls in Zone 6) <b>U .45</b> (Thermally Isolated Sunrooms only)	Write in U-Value		Check if <input type="checkbox"/> Sunroom <input type="checkbox"/> Log Walls
<b>Skylights</b>	<b>U .55</b> (or less) <b>U .70</b> (Thermally Isolated Sunrooms only)			
<b>Flat Ceiling<sup>i</sup></b>  <i>or</i> <b>Flat Ceiling with Raised or Energy Trusses R-value</b>	 <b>R-49</b> (Zone 5 or 6) if using the above construction technique  <b>R-49</b> if log walls	 <b>R-38</b> (Zone 5 or 6) if maintaining the full R value over the plates  <b>R-49</b> if log walls	Write in R-Value  → If using only R-38 in Zone 5 or 6 you must check this box	NOTE: R-38 will satisfy the requirement for R-49 if the full R-38 insulation value is maintained over the outside plates. <b>If using only R-38 (Zone 5 or 6), you must certify that you will maintain R-38 over the plates by checking the box below.</b>  <input type="checkbox"/> <i>By checking this box, I certify that this structure is being built with a raised energy truss or that the full R-value of the ceiling insulation will be maintained over the outside plates.</i>
<b>Sloped or Cathedral Ceiling</b>	<b>R-30</b> (Zone 5 & 6) if less than 500 ft sq or 20% of total ceiling area or as above <b>R-24</b> (Thermally Isolated Sunrooms only)	Write in R-Value		Check if <input type="checkbox"/> Sunroom
<b>Above Grade Wall<sup>ii</sup> R-value</b>	<b>Zone 5:</b> <b>R-20</b> Cavity Insulation only <i>or</i> <b>R-13 plus R-5</b> Cavity plus Continuous Insulation <b>R-13</b> (Thermally Isolated Sunrooms only)	<b>Zone 6:</b> <b>R-20 plus R-5</b> Cavity plus Continuous Insulation <i>or</i> <b>R-13 plus R-10</b> Cavity plus Continuous Insulation <b>R-13</b> (Thermally Isolated Sunrooms only)	Write in R-Value	Log homes must comply with ICC400-2012, have an average minimum wall thickness of 5" or greater with specific gravity of ≤0.5 or 7" with specific gravity >0.5.  Check if <input type="checkbox"/> Sunroom <input type="checkbox"/> Log Walls
<b>Door U-Value</b>	<b>U .30</b> (maximum)	Write in U-Value		One opaque door in the thermal envelope is exempt from the U-factor requirement.
<b>Floor R Value</b> (e.g., floor over Basement or garage)	<b>R-30</b> <i>or</i> Insulation sufficient to fill joist cavity minimum R-19	Write in R-Value		If conditioning the basement you must insulate <b>Basement Walls</b> . If not, you may insulate either <b>Floor</b> or <b>Basement Walls</b> and <b>Slab Edge</b> (if ≤ 1' of grade)
<b>Basement or Crawl Space Wall R Value</b>	For both Zone 5 and Zone 6 <b>R-19</b> Cavity Insulation or <b>R-15</b> Continuous Insulation	Write in R-Value		

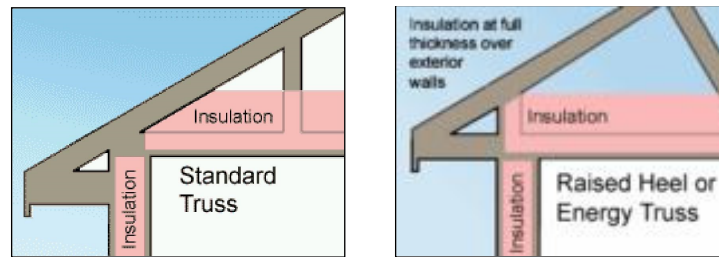


<b>Slab Edge<sup>iii</sup> R Value</b>	<b>R-10 2'</b> (Zone 5) <b>4'</b> (Zone 6) (see drawing pg 3) <i>add R-5</i> if the Slab is heated or <b>R-15</b> under entire heated slab if a log home.	<b>Write in R-Value</b>	Check if <input type="checkbox"/> <b>Heated Slab</b>
<b>Air Sealing</b>	A blower door test is <b>required</b> . The test must demonstrate an air exchange rate of <i>three</i> Air Changes per Hour (ACH) or less @ 50 Pa.	Blower Door	If required by the code official, an approved third party may be required to conduct the blower door test.

Submit pages 1,2 and 3 to local municipal code official or NH Department of Energy at [energycodes@energy.nh.gov](mailto:energycodes@energy.nh.gov)  
Phone: 603.271.3670 Fax: 603.271.3878

## Footnotes to Residential Energy Code Application for Certification of Compliance

<sup>i</sup> Ceilings with attic spaces: R-38 in Zone 5 or 6 will be deemed to satisfy the requirement for R-49 wherever the full height of uncompressed R-38 insulation extends over the wall top plate at the eaves or the full R-value is maintained. This is often accomplished by using a raised heel or energy truss as shown in the diagram below or by using higher R-value insulation over the plates.

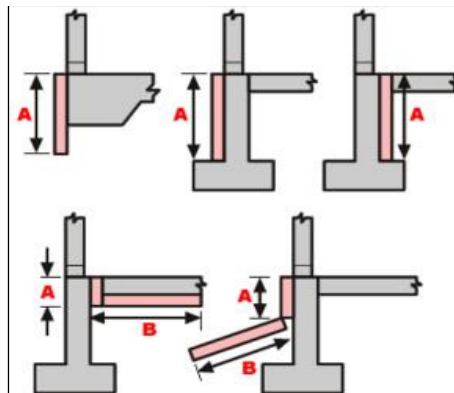


<sup>ii</sup> R-20 + R-5 means R-20 cavity insulation plus R-5 continuous insulation. If structural sheathing covers 25 percent or less of the exterior, R-5 sheathing is not required where the structural sheathing is placed. If structural sheathing covers more than 25 percent of exterior, the structural sheathing must be supplemented with insulated sheathing of at least R-2.

<sup>iii</sup> Slab edge insulation must start at the top of the slab edge and extend a total of two (Zone 5) or four feet (Zone 6). Insulation may go straight down, out at an angle away from the building, or along the slab edge and then under the slab. A slab is a concrete floor within 1' of grade level. See diagram below.

The top edge of insulation installed between the exterior wall and the interior slab may be mitered at a 45 degree angle away from the exterior wall.

### Allowable Slab Insulation Configurations



A or A+ B must equal two feet in Zone 5 or four feet in Zone 6

MODULAR HOMES must be certified by the NH Department of Safety. Unless the floor insulation is provided by the manufacturer this form may be submitted. This form may also be submitted if the basement is to be insulated or supplementary heated space is added to the home upon or after it is set.

**2018 International Residential Code (IRC) effective July 1, 2022  
Residential Energy Code Requirements IRC Chapter 11**

**The following list is intended as a general summary of energy related requirements.  
Please consult the 2018 IRC Chapter 11 for complete requirements.**

	<p align="center"><b>Air Leakage</b> Code Section N1102.4</p>	<p>The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of IRC Sections R1102.4.1 through R1102.4.4. The building thermal envelope must be durably sealed to limit infiltration. See Table N1102.4.1.1 for a list of thermal envelope elements and installation criteria.</p> <p>Building envelope air tightness shall be verified to comply by Blower Door testing to not exceed air leakage of 3 Air Changes per Hour (ACH) at 50 Pascals pressure. The local Building Official may require an independent 3<sup>rd</sup> party to conduct the test.</p>
	<p align="center"><b>Testing</b> Code Section N1102.4.1.2</p>	<p>The Blower Door Test is the required method to demonstrate code compliance with the air leakage requirement.</p> <p>Blower Door Test conducted by: _____</p> <p>Result (at 50 Pa): _____ CFM Interior Volume _____ CF _____ ACH</p>
	<p align="center"><b>Fireplaces</b> Code Section N1102.4.2</p>	<p>New wood-burning fireplaces shall have tight-fitting flue dampers or doors and outdoor combustion air.</p>
	<p align="center"><b>Recessed Lighting</b> Code Section N1102.4.5</p>	<p>Recessed lights in the thermal envelope must be type IC rated and labeled as meeting ASTM E 283 and sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.</p>
	<p align="center"><b>High-Efficacy Lighting</b> Code Section N1104.1</p>	<p>Not less than 90 percent of the lamps in permanently installing lighting fixtures shall be high-efficacy lamps or not less than 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.</p>
	<p align="center"><b>Materials and Insulation Identification</b> Code Section N1101.5 and N1101.10</p>	<p>Materials, systems and equipment shall be identified in a manner that will allow a determination of code compliance. Manufacturer manuals for all installed heating, cooling and service water heating equipment must be provided. Insulation R-values, glazing and door U-values and heating and cooling equipment efficiency must be clearly marked on the building plans, drawings or specifications.</p>
	<p align="center"><b>Pull-Down Attic Stairs, Attic Hatch, and Knee Wall Doors</b> Code Section N1102.2.4</p>	<p>Should be insulated to a level equal to the surrounding surfaces and tightly sealed and weather-stripped at the opening.</p>
	<p align="center"><b>Full size Attic or Basement Entry Doors</b> Code Section N1102.3.4</p>	<p>All doors leading from a conditioned space into an unconditioned attic or enclosed attic or basement stairwell should be insulated and weather-stripped exterior rated door units meeting the U-factor requirement. One door is exempt.</p>
	<p align="center"><b>Duct Insulation</b> Code Section N1103.3.1</p>	<p><b>Supply and return</b> ducts in attics must be insulated to at least R-8 where 3 in. diameter or greater and not less than R-6 for ducts smaller than 3 in. diameter.. Supply and return ducts in other portions of the building must be insulated to at least R-6 where 3 in. diameter or greater and not less than R-4.2 for ducts smaller than 3 in. diameter. Exception: Ducts or portions thereof located completely inside the building thermal envelope.</p>

By signing below, I acknowledge I will comply with all requirements listed above:

	<p><b>Duct Construction</b> Code Sections N1103.3.2 and N1103.3.5</p>	<p>Ducts, air handlers and filter boxes shall be sealed. Joints and seams must comply with the <i>Int. Mech. Code</i> or Section M1601.4.1 of the <i>International Residential Code</i>. Building framing cavities <b>shall not</b> be used as ducts or plenums (neither supply nor return).</p>
	<p><b>Duct Testing</b> Code Sections 1103.3.3</p>	<p>Ducts shall be pressure tested to determine air leakage by either 1) rough-in test or 2) post-construction test. Rough in Test: Ducts must be no leakier than 6 CFM per 100 sqft of conditioned floor area with air handler installed or 4 CFM per 100sqft without the air handler installed. Post Construction: Ducts must be no leakier than 8 CFM per 100 sqft of conditioned floor area. See Code for further requirement details.</p> <p>Test conducted by: _____</p> <p>Duct test result at 25 Pa: _____ Post construction or _____ Rough-in test</p>
	<p><b>Temperature Controls</b> Code Section N1103.1&amp;1.1</p>	<p>At least one thermostat must be provided for each separate heating and cooling system. The thermostat controlling the primary system must be equipped with a programmable thermostat.</p> <p>Heat pumps having supplementary electric-resistance heat must have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load</p>
	<p><b>Mechanical System Piping Insulation</b> Code Section 1103.4</p>	<p>Mechanical system piping capable of conveying fluids at temperatures above 105°F or below 55°F must be insulated to R-3.</p>
	<p><b>Circulating Hot Water Systems</b> Code Section N1103.5</p>	<p>Controls for circulating hot water system pumps shall start based on the identification of a demand for hot water within the occupancy. The controls shall automatically turn off the pump when the water in the circulation loop is at the desired temperature and when there is no demand for hot water.</p> <p>Circulating domestic hot water system piping shall be insulated to R-3.</p>
	<p><b>Mechanical Ventilation</b> Code Section N1103.6</p>	<p>The building shall be provided with ventilation that meets the requirements of Section M1507 of this code or the International Mechanical Code, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts must have automatic or gravity dampers that close when the ventilation system is not operating.</p>
	<p><b>Equipment Sizing</b> Code Section N1103.7</p>	<p>Heating and cooling equipment shall be sized in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies. Equipment shall have an efficiency rating equal to or greater than applicable federal standards.</p>
	<p><b>Certificate</b> Code Section N1101.14</p>	<p>A permanent certificate, completed by the builder or registered design professional, must be posted on a wall in the space where the furnace is located, in a utility room or on the electrical distribution panel. It must list the R-values of insulation installed in or on the ceiling, walls, foundation, slab and ducts outside the conditioned spaces; U-factors and SHGC for fenestration; results from any required duct system test and building envelope air leakage testing performed on the building. The certificate must also list the type and efficiency of heating, cooling and service water heating equipment.</p>
	<p><b>Existing Buildings and Structures</b>  See <b>Appendix J</b> of IRC</p>	<p>The purpose of these provisions is to encourage continued use of existing buildings and structures. Work in existing buildings shall be classified into categories of repair, renovation, alteration and reconstruction. Consult this Appendix for specific requirements related to work in existing buildings.</p>

By signing below, I acknowledge I will comply with all requirements listed above:



**Town of Boscawen  
Impact Fee Assessment  
Subdivision or Site Plan**

Landowner Name \_\_\_\_\_

Plat Reference Number \_\_\_\_\_

Map \_\_\_\_\_ Lot \_\_\_\_\_ Sublot \_\_\_\_\_

Applicant for Development \_\_\_\_\_

Date of Planning Board Approval \_\_\_\_\_ Date of Issued Building Permit \_\_\_\_\_

**Authority**

Impact fee assessments are authorized by an impact fee ordinance incorporated into the Boscawen Zoning Ordinance. The Impact fee ordinance was adopted by the Town Meeting of March 13, 2007. Under the authority of that ordinance, the Boscawen Planning Board adopted the first impact fee schedule on March 20, 2007.

School impact fees may be waived by the Planning Board for residential units that are lawfully restricted to occupancy by senior citizens aged 62 or older under conditions established by the ordinance. Other waivers may be granted by the Planning Board only under the terms provided in the ordinance.

**Amount of Assessment**

Except where subject to waiver, the following amounts are hereby assessed as impact fees to the above named development prior to issuance of a Certificate of Occupancy. Payment of all fees is due upon completion of each residential unit or the completion of each non-residential building except where the applicant and the Planning Board have mutually agreed to an alternative schedule for payment.

The Impact Fee assessment schedule and associated basis of assessment applicable to this development are summarized in the following schedule as adopted by the Boscawen Planning Board on March 20, 2007 and amended on November 16, 2017.

<b>Restricted Dev-Impact Fee Assessment per Unit</b>	<b>Single-Family Detached Homes</b>	<b>Apartments, 2 or more Family &amp; Attached Units</b>	<b>Manufactured Housing (Mobile Homes)</b>	<b>Accessory Dwelling Units (ADU)</b>
Public Schools	\$4,093	\$1,624	\$2,383	\$1,228
Municipal Office	\$394	\$390	\$404	\$390
Police Department	\$247	\$240	\$249	\$240
Town Roads	\$637	\$347	\$505	\$347
<b>Total Fee Per Unit</b>	<b>\$5,371</b>	<b>\$2,601</b>	<b>\$3,541</b>	<b>\$2,205</b>
<b>Total Fee Age-Restricted Units</b>	<b>\$1,278</b>	<b>\$977</b>	<b>\$1,158</b>	<b>\$977</b>
<b>Restricted Dev-Impact Fee Assessment per square foot</b>	<b>Single-Family Detached Homes</b>	<b>Apartments, 2 or more Family &amp; Attached Units</b>	<b>Manufactured Housing (Mobile Homes)</b>	<b>Accessory Dwelling Units (ADU)</b>
Public Schools	\$2.01	\$1.63	\$2.63	\$2.01
Municipal Office	\$.19	\$.41	\$.41	\$.41
Police Department	\$.12	\$.25	\$.25	\$.25
Town Roads	\$.31	\$.37	\$.51	\$.37
<b>Total Fees</b>	<b>\$2.63</b>	<b>\$2.66</b>	<b>\$3.80</b>	<b>\$3.04</b>



**Town of Boscawen  
Impact Fee Assessment  
Subdivision or Site Plan**

**Non-Residential Development – Impact Fee Assessment:**

<b>Capital Facility Category</b>	<b>Retail, Office, Lodging</b>	<b>Warehouse, Industrial</b>	<b>Other Non-Residential Commercial Development</b>
Public Schools	Not Applicable	Not Applicable	Not Applicable
Municipal Office	\$0.38	\$0.20	\$0.26
Police Department	\$0.24	\$0.12	\$0.16
Town Roads	★	★	★
<b>Total Fees</b>	<b>\$0.62</b>	<b>\$0.32</b>	<b>\$0.42</b>

**No Impact Fee though exactions may be imposed by the Planning Board.**

1. The number of units to which school impact fees apply should exclude the number of units for which waivers have been granted by the Planning Board based on age restricted occupancy.
2. In the event that other waivers have been granted based on other approved payments or contributions approved by the Planning Board, those residential units or non-residential floor area should be excluded from the assessment.
3. Documentation of any waivers of impact fees that have been approved by the Planning Board for this development should be attached to this form.

**Payment of Impact Fees Assessed:**

Is bond, letter of credit or other security required by the Planning Board to guarantee future payment of assessment? (If yes, describe and attach requirements).

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The applicant hereby acknowledges this impact fee assessment and understand that the assessed fees must be paid to the Town of Boscawen prior to or as a condition of receiving a Certificate of Occupancy.

Printed Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**To be completed by Office Staff:**

<b>Payment Date:</b>	
<b>Check #:</b>	
<b>Signature:</b>	



# Town of Boscawen

116 North Main Street, Boscawen, NH 03303 | Telephone: 603.753.9188 | Fax: 603.753.9183

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## APPLICATION FOR DRIVEWAY PERMIT

Dean Hollins, Public Works Director  
Town of Boscawen  
116 North Main Street  
Boscawen, NH 03303

Dear Sir,

Permission is hereby requested to construct \_\_\_\_\_ driveway entrance(s) to my property on the \_\_\_\_\_ side of \_\_\_\_\_ Street/Road/Lane in the Town of Boscawen, NH at a location that will meet safety requirements.

The driveway requested is for access to: \_\_\_\_\_  
Residence, Industry, Business, Subdivision, etc.

As the landowner/applicant, I hereby agree to the following:

1. To hold harmless the Town of Boscawen or Highway Department and its duly appointed agents and employees against any action for personal injury and/or property damage sustained by reason of the exercise of this permit.
2. To furnish and install drainage structures that are necessary to maintain Existing highway drainage and adequately handle increased run off resulting from development.
3. To maintain, at a minimum, a 13-foot width the entire length of the driveway.

Signed,

\_\_\_\_\_  
Signature of Landowner (Applicant)

\_\_\_\_\_  
Address

\_\_\_\_\_  
Mailing address if different

\_\_\_\_\_  
Telephone number



# Town of Boscawen

116 North Main Street, Boscawen, NH 03303 | Telephone: 603.753.9188 | Fax: 603.753.9184

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## DRIVEWAY APPROVAL

- APPROVED
- APPROVED WITH SUBDIVISION
- APPROVED WITH FOLLOWING CONDITION (S):
- 

Permission is hereby granted to construct a driveway, entrance, exit, or approach adjoining \_\_\_\_\_ pursuant to the location and specifications as described in the application and supporting documentation. This must meet minimum frontage standards of the Boscawen Zoning Ordinance, Site Plan Regulations and Subdivision Regulations. Failure to complete construction of said facility within one (1) calendar year shall render this instrument null and void. Facilities constructed in violation of these conditions shall be corrected immediately upon notification by the Town of Boscawen or the costs of removing said facility shall be fully borne by the owner.

Location: MAP \_\_\_\_\_ LOT \_\_\_\_\_

This permit requires that the driveway and the area adjacent to the highway be graded to comply with the Road Construction Procedures Manual as published by the Town of Boscawen.

No structures, including buildings, permanent or portable signs, lights, displays, fences, walls, etc. shall be permitted in, over or under the highway right-of-way.

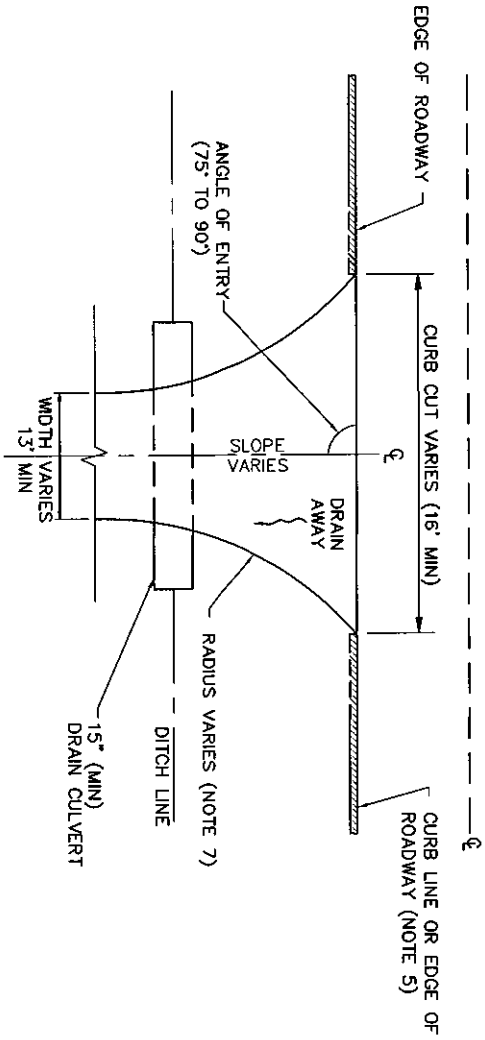
Signed: \_\_\_\_\_  
Public Works Director

Date: \_\_\_\_\_

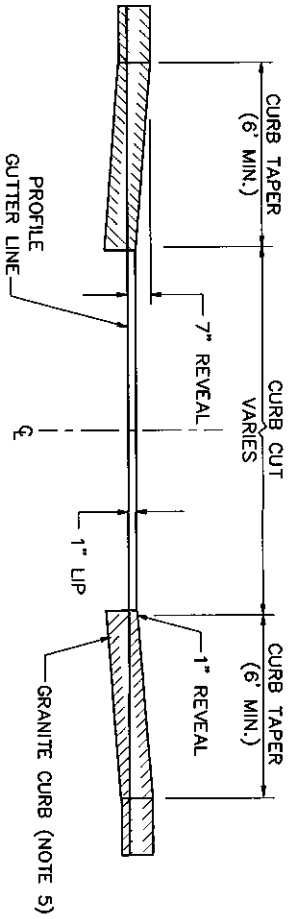
Owner shall comply with the requirements of RSA 236:13 VI, Driveways and Other Accesses to the Public Way, as amended. All private driveway connections, including structures like culverts, remain the continuing responsibility of the landowners-even if they're in the right of way, and even if the driveway pre-dates the permit system. If any driveway connection threatens the highway due to plugged culverts, siltation, etc the planning board or its designee can order the owner to repair it. If the owner does not, the town can make the repair and charge the costs to the owner.



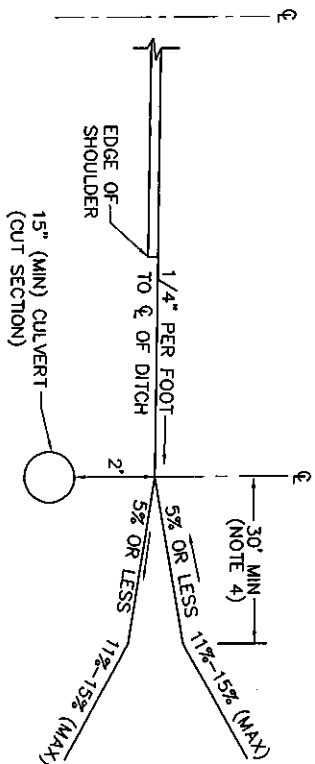
PLAN



SECTION



PROFILE



NOTES:

1. CONSTRUCT DRIVEWAY APRONS TO THE LIMITS SHOWN, UNLESS OTHERWISE DIRECTED BY PUBLIC WORKS DIRECTOR.
2. DRIVEWAYS SHALL BE CONSTRUCTED WITHIN THE LOT FRONTAGE AND HAVE A MINIMUM 10' CLEARANCE FROM SIDE LOT LINES.
3. FOR NEW SUBDIVISIONS, CORNER LOT DRIVEWAYS MUST BE A MINIMUM OF 100' FROM ADJACENT ROADWAY. FOR DRIVEWAY CONSTRUCTION ON EXISTING LOTS, THE INTENT OF THE 100' SETBACK MAY APPLY TO THE EXTENT PRACTICAL AS DIRECTED BY THE PLANNING BOARD.
4. WHEN THE PROPOSED CENTERLINE DRIVEWAY GRADE EXCEEDS 10%, A PLATFORM SHALL BE CONSTRUCTED AT A MAXIMUM OF 5% GRADE OVER 30' (MIN) STARTING AT THE CENTER OF THE DITCH LINE. MINIMUM CENTERLINE GRADE SHALL BE 0.5% FOR DRIVEWAYS.
5. GRANITE CURB SHALL BE PROVIDED ONLY WHERE SIDEWALK IS PROPOSED DIRECTLY ADJACENT TO THE PAVED TRAVEL WAY AND/OR IN AREAS DESIGNATED FOR NHDOT HIGHWAY WINTER MAINTENANCE (OR WHEN REQUIRED BY THE PLANNING BOARD). FOR EXAMPLE, ESTABLISHED SIDEWALK NETWORKS EXIST IN THE VICINITY OF THE NORTHERN INTERSECTION OF ROUTE 4 (HIGH STREET) AND ROUTE 3 (DANIEL WEBSTER HIGHWAY) AND CONTINUE DOWN THE ROUTE 3 CORRIDOR TO THE PENACOOK VILLAGE AREA. IF CURBING IS NECESSARY FOR DRAINAGE SYSTEMS BEYOND THESE LIMITS, THEN BITUMINOUS CURB SHALL BE USED (DETAIL R4).
6. WHEN PRESENT, CURBING SHALL BE ENDED AS SHOWN. CURB TIP DOWN SHALL BE A MINIMUM OF ONE 6' CURB LENGTH, WHERE APPROPRIATE CURB MAY BE FLARED TO FIT DRIVE RADI.
7. DRIVEWAY RADI SHALL COMPLY WITH THE FOLLOWING TABLE:

ANGLE OF ENTRY	DRIVEWAY WIDTH VS. RADIUS			
90°	13'	14'	16'	18'
75°	15'	10'	10'	5'
	20'	15'	10'	5'

TYPICAL CONSTRUCTION DETAILS  
BOSCAMEN, NEW HAMPSHIRE

TYPICAL DRIVEWAY

R7

6/12/12

# ENVIRONMENTAL Fact Sheet



29 Hazen Drive, Concord, New Hampshire 03301 • (603) 271-3503 • [www.des.nh.gov](http://www.des.nh.gov)

ARD-59

2020

## Asbestos: What Home Owners, Contractors, Property Managers and Landlords need to know

It is widely known that exposure to airborne asbestos fibers is hazardous to human health and wellbeing. Federal law authorizes the U.S. Environmental Protection Agency (EPA) and U.S. Occupational Health and Safety Agency (OHSA) to enact and enforce federal regulations in 40 CFR Part 61, 29 CFR 1910.1001 and 29 CFR 1926.1101 to protect workers, the general public and the environment against asbestos hazards. NHDES is authorized by RSA 141-E and Env-A 1800, *Asbestos Management and Control*, to protect the environment and the public by ensuring that asbestos is managed in a manner that prevents the release of asbestos fibers to the environment.



### What building materials contain asbestos?

Prior to the identification of the health hazards associated with its use, asbestos was widely believed to be a safe and valuable natural mineral resource that added very important physical properties to the materials to which it was added. By adding asbestos fibers to products, manufacturers were able to make their products more fire retardant, heat resistant, heat absorptive, non-conductive and chemically resistant while adding greater tensile strength.

While asbestos is no longer used in product manufacturing in the United States, many other countries still use asbestos in the manufacture of products that are imported into this country. In addition to imported products, many asbestos-containing building materials (ACBM) remain in residential and commercial buildings throughout the United States.

#### List of Commonly Encountered Asbestos Containing Building Materials

##### Mastics and Adhesives

- Construction Mastics
- Roof Patching Cement
- Roofing Tar
- Window glazing
- Caulking Compounds
- Black mastic (Under Vinyl floor tiles)

##### Transite Products (Cement Board)

- Wall & Roof board
- Fake Brick Panels
- Siding Tiles
- Roof Tiles
- Roof Flashing
- Laboratory Counter Tops & Hoods

<b>List of Commonly Encountered Asbestos Containing Building Materials</b>	
<ul style="list-style-type: none"> <li>• Foundation coatings &amp; Water proofing</li> <li>• Glue Daubs</li> </ul> <p><b>Vinyl Asbestos Products</b></p> <ul style="list-style-type: none"> <li>• Floor Tile</li> <li>• Base Board Flashing &amp; Cove base</li> <li>• Vinyl Sheet Flooring</li> <li>• Felt backing on sheet flooring</li> </ul> <p><b>Thermal System Insulation (TSI)</b></p> <ul style="list-style-type: none"> <li>• Pipe Insulation (corrugated air-cell)</li> <li>• Elbow packing (Plaster/Mud)</li> <li>• Boiler Packing (Plaster/Mud)</li> <li>• Fire Box Liner (Fiber Mat)</li> <li>• Rope Gasket (fire box door &amp; between boiler sections)</li> <li>• Sealants, Gaskets &amp; Caulking</li> <li>• Transite insulation panels</li> <li>• Air-Cell insulation panels</li> </ul> <p><b>Fire &amp; Heat Resistant Surface Coatings (for Structural Steel)</b></p> <ul style="list-style-type: none"> <li>• Spray-Applied Insulation</li> <li>• Blown-in Insulation</li> </ul> <p><b>Attic &amp; Wall Cavity Insulation</b></p> <ul style="list-style-type: none"> <li>• Vermiculite</li> </ul> <p><b>Transite Pipe (Cement Pipes)</b></p> <ul style="list-style-type: none"> <li>• Asbestos Cement Pipes (Municipal Water Systems)</li> <li>• Heating and Electrical Ducts</li> </ul> <p><b>Soundproofing</b></p> <ul style="list-style-type: none"> <li>• Ceiling Panels (drop ceiling type)</li> </ul>	<ul style="list-style-type: none"> <li>• Electrical Panel Partitions</li> <li>• Fire door cores</li> </ul> <p><b>Plaster &amp; Joint Compounds</b></p> <ul style="list-style-type: none"> <li>• Decorative Ceiling Plaster (popcorn)</li> <li>• Drywall panel</li> <li>• Drywall compound</li> <li>• Spackles &amp; Skim coating plaster</li> </ul> <p><b>Asbestos Containing Cloth</b></p> <ul style="list-style-type: none"> <li>• Laboratory Gloves</li> <li>• Fire Blankets</li> <li>• Firefighter gear</li> <li>• Fire Curtains (in public venues)</li> <li>• Electrical Cloth</li> <li>• Architectural finishing's (in public venues)</li> </ul> <p><b>Asphaltic Materials</b></p> <ul style="list-style-type: none"> <li>• Rolled Roofing</li> <li>• Roofing shingles</li> </ul> <p><b>Asbestos Containing Paper Products (Friable)</b></p> <ul style="list-style-type: none"> <li>• Compounding Tape</li> <li>• Heavy Construction Felts &amp; Papers</li> <li>• Duct wrap &amp; tape</li> </ul> <p><b>Paints &amp; Coatings</b></p> <ul style="list-style-type: none"> <li>• Water &amp; Heat Resistant Paints (often silver on mobile home roofs)</li> </ul> <p><b>Other</b></p> <ul style="list-style-type: none"> <li>• Electric Wiring Insulation</li> <li>• Chalkboards (In Schools)</li> </ul>

**What steps can I take to minimize the risk of exposure to asbestos?**

The renovation or demolition of a building can pose a substantial risk of disturbance of ACBM, which would in turn expose workers, residents and the general public to airborne asbestos fibers. To manage and mitigate that risk, specific asbestos management requirements must be complied with when undertaking renovation and demolition activities, or managing commercial or residential properties in NH. Familiarizing yourself with RSA 141-E and Env-A 1800 before commencing with any renovation or demolition activity will help you to comply with the applicable requirements while ensuring the health and safety of everyone involved. In addition, you protect yourself and your company from potentially significant financial liabilities, as well as potential enforcement actions that could arise from violations of RSA 141-E and Env-A 1800.

Choosing a reputable, professional and knowledgeable general contractor is a critical first step for any project. Your contractor should be aware of, and comply with, all laws and rules that pertain to their areas of business operation, including asbestos. Be on your guard against amateur, ill-informed or disreputable contractors who do not operate in accordance with existing laws, local permitting requirements, construction codes and industry best practices. Please be advised that both *the property owner* and the *contractor* are responsible for complying with asbestos-related laws and rules, and both may be subject to orders, penalties, or other enforcement actions for failing to comply with those laws and rules.

### **When is an asbestos inspection required?**

Once the design of your project has been determined, a qualified asbestos inspector must be hired to survey the proposed project areas for the presence of ACBM that would be subject to disturbance during the project. Only persons who have received the required training covering the identification of asbestos-containing materials (ACM), and the hazards associated with them, are qualified under Env-A 1802.14 to conduct the required inspections. The qualified inspector will conduct a visual inspection of the project area and take samples for laboratory analysis of any and all materials that are suspected of being asbestos containing. Upon receiving the sample results back from the lab, the inspector will prepare a written report detailing the inspection findings along with a list of all known, or assumed, ACBM.

### **When do I need to notify NHDES about an asbestos abatement project?**

A written notification must be received by NHDES and the local health officer at least 10 business days before most asbestos abatement projects occur in New Hampshire. See the *Asbestos Abatement Project Requirements* table below. The notification for demolition projects must be submitted even when no ACBM were identified during the required asbestos inspection.

Asbestos abatement activities can involve:

- The wrecking or removal of any load-supporting structural member containing or covered by regulated asbestos containing materials (RACM).
- The encapsulation, coating, binding, or resurfacing of structural members, walls, ceilings, or building or equipment surfaces, or ducts, pipes, boilers, tanks, reactors, furnaces, or other vessels containing RACM.
- The construction of airtight enclosures to isolate surfaces coated or containing RACM.
- The removal or stripping of RACM from structural members, walls, ceilings, or other building surfaces, or ducts, pipes, boilers, tanks, reactors, furnaces, or other vessels.
- The repair of RACM to minimize the likelihood of fiber release from damaged areas to include the application of; duct tape, re-wet able glass cloth, canvas, cement, or other materials intended to seal exposed and or damaged areas from which asbestos fibers may be released.

RACM is friable ACM, which can be crumbled, pulverized or reduced to powder by hand pressure, or non-friable ACM that has become friable, or is likely to become crumbled, pulverized, or reduced to powder by the forces expected to act upon it.

### Asbestos Abatement Project Requirements

Project Type	Requirements
Major asbestos abatement project  (more than 10 linear feet, 25 square feet or 3 cubic feet of RACM)	<ol style="list-style-type: none"> <li>1. Written notification at least 10 days before project begins;</li> <li>2. NH licensed asbestos abatement contractor; and</li> <li>3. NH certified asbestos abatement supervisors and workers.</li> </ol>
Minor asbestos abatement project  (10 linear feet, 25 square feet or 3 cubic feet or less of RACM)	<ol style="list-style-type: none"> <li>1. NH certified asbestos abatement supervisors and workers.</li> </ol>
Small scale short duration project  (less than 3 linear feet or 3 square feet of RACM)	<ol style="list-style-type: none"> <li>1. Boiler service workers and facility maintenance workers;</li> <li>2. Purpose to perform needed repairs or service; and</li> <li>3. Worker received the required OSHA initial, and annual refresher, asbestos awareness training for the OSHA classification of asbestos disturbance activity to be performed.</li> </ol>
Demolition	<ol style="list-style-type: none"> <li>1. Written notification at least 10 days before project begins.</li> </ol>

#### **What action do I need to take for damaged or disturbed asbestos?**

RSA 141-E requires owners and operators of commercial and residential rental properties to maintain all areas of a building which are accessible to occupants free of asbestos inhalation hazards above the applicable permissible exposure limit (PEL) for the type of use or occupancy of that building, as established by OSHA/NIOSH. Any ACBMs located in common areas, rental units, work areas or tenant accessible areas that are damaged, or are likely to become damaged, have to be abated by a New Hampshire licensed asbestos abatement contractor to eliminate potential asbestos exposure hazards.

#### **What are the disposal and documentation requirements for asbestos projects?**

Within 30 days of the completion of asbestos abatement activities, all asbestos waste must be transported for delivery to a solid waste facility that is permitted to receive it. Currently, the only facilities in New Hampshire that are permitted to accept asbestos waste are:

- Mount Carberry Landfill, 80 Hutchins Street, Berlin NH 03570 (603) 752-3342 (asbestos waste accepted from commercial haulers and the general public).
- Turnkey Landfill, 90 Rochester Neck Rd, Rochester, NH 03839 (216) 286-0230 (asbestos waste only accepted from commercial haulers and asbestos abatement contractors).
- Four Hills Landfill, 840 W. Hollis Street, Nashua, NH 03062 (603) 589-3412 (asbestos waste only accepted from commercial haulers and Nashua residents).

All transporters of asbestos waste must provide NHDES with transport and disposal notification. In all instances where greater than 10 linear feet, 25 square feet or 3 cubic feet of asbestos waste is disposed of, a waste shipment record must be sent to NHDES within 30 days of the delivery of the asbestos waste to the permitted disposal facility.

### **What is the single family owner occupant exemption?**

The owner who occupies a private, single-family dwelling may perform asbestos abatement activities on or in their residence. However, the owner must personally perform the work; and cannot rent or sell the residence within six months after completing the abatement activity. Owners who perform asbestos abatement activities are exempt from the abatement notification requirement; however, the owner must still comply with each of the following:

- Adequately wet the ACM before removal, and maintain it wet during and after removal, and until it is placed into leak-tight containers for disposal.
- Remove all ACM that is not associated with structural members in small sections.
- Cause minimum breakage by carefully lowering all ACM to the ground or floor.
- Not allow asbestos waste to accumulate on the floor.
- Place wet asbestos waste into water-tight containers, or double impermeable bags of at least six mil thickness each, or dumpsters with two ten mil liners.
- Seal bags, containers or dumpster liners when fully loaded.
- Wrap large components or structural members that were removed intact with two layers of six mil sheeting and then seal the sheeting.
- Perform cleanup procedures using repeated HEPA vacuuming and wet cleaning techniques until no visible residue remains in the work area.

When a homeowner completes their asbestos abatement activities and is ready to dispose of their asbestos waste offsite, NHDES recommends that the homeowner contact an asbestos abatement contractor for small quantities (one to 20 bags) or a commercial waste dumpster company for larger volumes for assistance with the documentation and disposal of the waste.

If a homeowner transports their own asbestos waste to a permitted disposal facility, the homeowner must provide written notification to NHDES, as well as retaining a copy of the notice for their own records.

For more information on the potential health hazards of handling ACM, and how to minimize your exposure, go to the NHDES Asbestos Management website, or contact NHDES by email at [asbestos@des.nh.gov](mailto:asbestos@des.nh.gov) or by telephone at (603) 271-1370.

**CALL DIG SAFE® – 811  
BEFORE YOU DIG**



You may be eager to dig your shovel in and plant a beautiful birch in your front yard, or begin excavating a new lot, but don't break any ground before calling Dig Safe® at 811.

By law, anyone planning to excavate must call Dig Safe® at 811 at least three working days (72 hours) before any disturbance begins. Dig Safe® is an call center system. At no cost to residential customers, Dig Safe® notifies all relevant utilities of your planned work so that they may mark the approximate locations of their buried lines and pipes.

Please wait for the utilities to make their marks before beginning your project, and respect and maintain the marks that have been made.

If you do damage underground facilities while digging, you endanger not only your safety but the safety of others. You may also be responsible for the cost of repairing the damaged utility. If you have retained contractors to work for you, be certain they call Dig Safe® at 811 before beginning any work.



**Unitil**  
energy for life

*Esta información es importante. Por favor haberlo traducido.  
Cette information est importante. S'il vous plaît veuillez faire la traduction.*

30384-I-0724



*State of New Hampshire  
Division of Emergency Services and  
Communications*

*E 9-1-1 Data Operations*

**NOTICE – Address posting**

Per the town ordinance adopted by your community, property owners are required to post their town assigned address. The address should be clearly posted for all residential and commercial buildings.

- 1) Address numbers must be visible from the road
- 2) Address numbers must be a minimum of (3) inches high for residential structures.
- 3) Address numbers must be a minimum of (4) inches high for businesses.
- 4) Address numbers should be placed on, or beside the front door of the building.
- 5) Address numbers should contrast with the color of the building or front door.
- 6) Address numbers should be placed on a post, fence or tree at the driveway entrance if the house is not visible from the road. The address must be a minimum of three (3) feet above the road grade and the address number must be posted in a manner that it is not obstructed by tall grass, snow or any other obstructions.
- 7) Reflective and contrasting numbers should be placed on BOTH sides of rural style mailboxes so they can easily be seen by a fire truck or ambulance approaching from either direction.
- 8) Property owners should affix the unit designation to the door of all multiple unit structures. E.g. Apt A, Apt B, Unit 101, Ste 101

If you receive mail at a post office box you must still post the Emergency 9-1-1 address on your property so you can be easily located by emergency vehicles.

The above guidelines are there to assist you with correctly posting your town assigned 9-1-1 address. Contact your town hall if you have questions in reference to address postings.



Env-Wq 1004.22 “Expansion, Relocation, or Replacement of Existing Structures”.

(a) No construction approval or approval to operate from the department shall be required for the expansion, relocation, or replacement of any structure that meets the requirements of RSA 485-A:38, II-a, namely:

- (1) The work does not increase the load on the ISDS serving the structure;
- (2) The ISDS serving the structure received construction approval and approval to operate from the department within 20 years of the date of the issuance of a building permit for the proposed expansion, relocation, or replacement or the lot is 5 acres or more in size;
- (3) If the property is nonresidential, no waivers were granted in the construction approval or approval to operate of any requirements for total wastewater lot loading, depth to groundwater, or horizontal distances to surface water, water supply systems, or very poorly drained soils; and
- (4) The proposed expansion, relocation, or replacement complies with the requirements of the shoreland water quality protection act, RSA 483-B, if applicable.

(b) Subject to (c), below, any expansion, relocation, or replacement of a structure that does not meet the requirements of RSA 485-A:38, II-a shall be considered new construction, for which an application for an ISDS to serve the structure shall be submitted in accordance with Env-Wq 1003.

(c) The expansion, relocation, or replacement of a structure shall not be considered new construction under (b), above, if:

- (1) The ISDS serving the structure received construction approval and approval to operate from the department more than 20 years before the date of the issuance of a building permit but otherwise meets the criteria specified in (a), above; and
- (2) The footprint of the structure will not change.

(d) For property in the protected shoreland, no structure shall be replaced, relocated, or expanded without the owner first determining that such replacement, relocation, or expansion will not violate RSA 483-B.